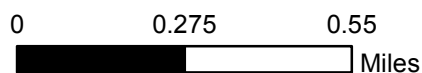


 Site Location
 Cost Code: 10750



PALM BEACH COUNTY, FL	Sec/Twp/Rge 16/44/43	Date: 2014-04-30	Latitude (DMS): 26° 38m 23s N Longitude (DMS): 26° 38m 23s N	State Plane Coordinates X: 960861.83 Y: 839330.67	Exhibit No: 1
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Environmental Resource Compliance Bureau
 Project Name: C & A HOLDINGS

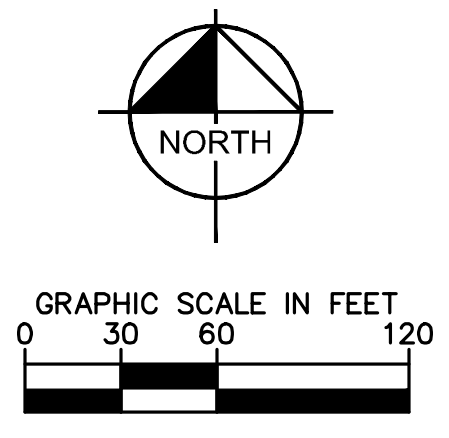
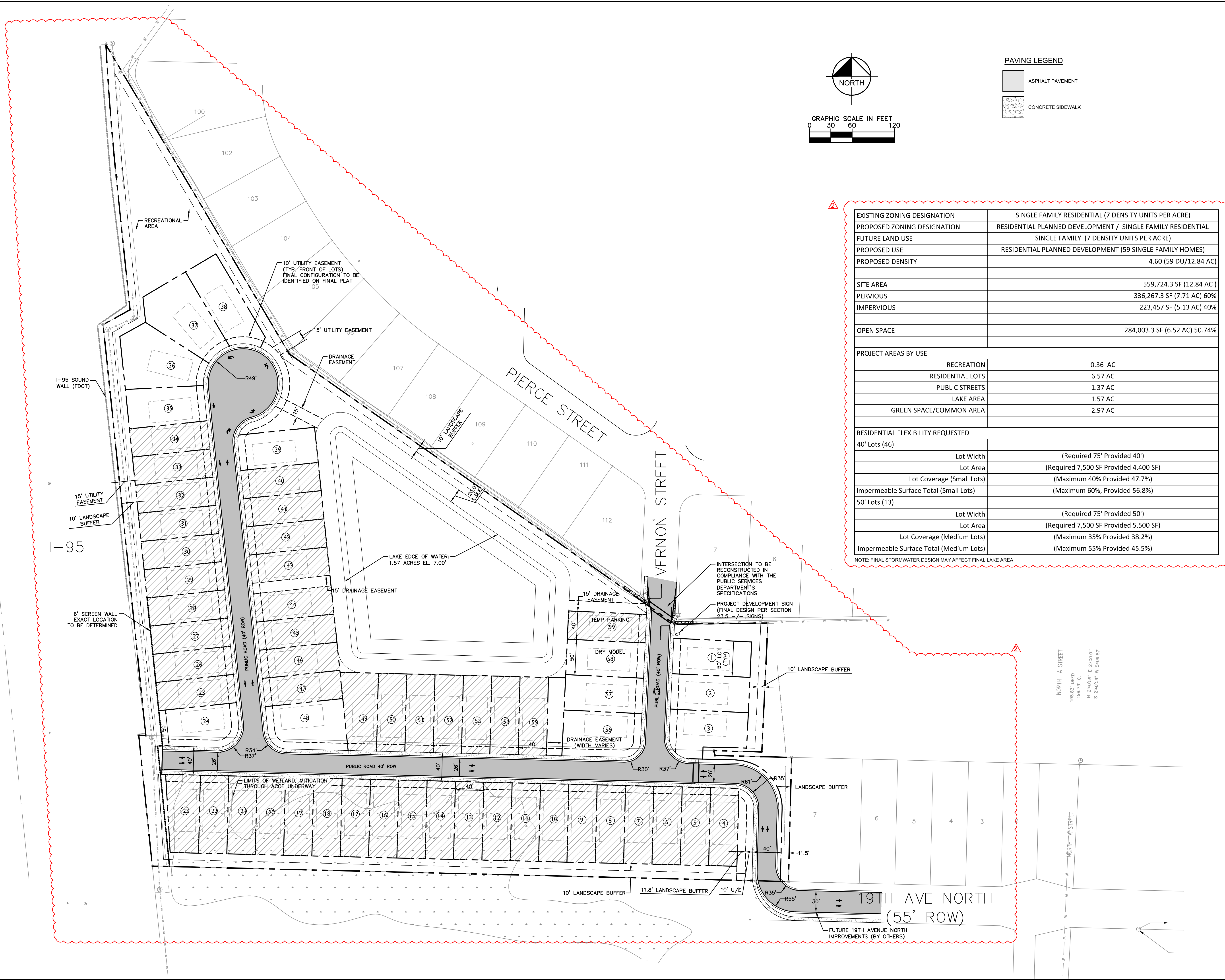


sfwmd.gov

South Florida Water Management District
 Regulation Division, GIS
 Regulatory Support Bureau - GIS Section
 3301 Gun Club Road
 West Palm Beach, FL 33406
 Phone: (561)682-6582



Plotted By: Fitzpatrick, James. Sheet: Lake Cove. Layout: C1.00. Master Site Plan. May 31, 2017. 01:50:41pm. K:\bced_svn\149658004_meritage.lake.cove\149658004.dwg. meritage.lake.cove\149658004.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PAVING LEGEND

	ASPHALT PAVEMENT
	CONCRETE SIDEWALK

EXISTING ZONING DESIGNATION	SINGLE FAMILY RESIDENTIAL (7 DENSITY UNITS PER ACRE)
PROPOSED ZONING DESIGNATION	RESIDENTIAL PLANNED DEVELOPMENT / SINGLE FAMILY RESIDENTIAL
FUTURE LAND USE	SINGLE FAMILY (7 DENSITY UNITS PER ACRE)
PROPOSED USE	RESIDENTIAL PLANNED DEVELOPMENT (59 SINGLE FAMILY HOMES)
PROPOSED DENSITY	4.60 (59 DU/12.84 AC)
SITE AREA	559,724.3 SF (12.84 AC)
PERVIOUS	336,267.3 SF (7.71 AC) 60%
IMPERVIOUS	223,457 SF (5.13 AC) 40%
OPEN SPACE	284,003.3 SF (6.52 AC) 50.74%
PROJECT AREAS BY USE	
RECREATION	0.36 AC
RESIDENTIAL LOTS	6.57 AC
PUBLIC STREETS	1.37 AC
LAKE AREA	1.57 AC
GREEN SPACE/Common Area	2.97 AC
RESIDENTIAL FLEXIBILITY REQUESTED	
40' Lots (46)	
Lot Width	(Required 75' Provided 40')
Lot Area	(Required 7,500 SF Provided 4,400 SF)
Lot Coverage (Small Lots)	(Maximum 40% Provided 47.7%)
Impermeable Surface Total (Small Lots)	(Maximum 60%, Provided 56.8%)
50' Lots (13)	
Lot Width	(Required 75' Provided 50')
Lot Area	(Required 7,500 SF Provided 5,500 SF)
Lot Coverage (Medium Lots)	(Maximum 35% Provided 38.2%)
Impermeable Surface Total (Medium Lots)	(Maximum 55% Provided 45.5%)

NOTE: FINAL STORMWATER DESIGN MAY AFFECT FINAL LAKE AREA

SPRT COMMENTS	4/14/2017 JRF
SPRT COMMENTS	5/12/2017 JRF
No.	
REVISIONS	DATE
BY	

Kimley»Horn

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 1615 S CONGRESS AVE. SUITE 201, DELRAY BEACH, FL 33445
 PHONE: 561-330-2345 FAX: 561-865-8175
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL	MICHAEL D. SPRUCE, P.E.
KHA PROJECT	149658004
DATE	MAY 2017
SCALE	AS SHOWN
DESIGNED BY	DEH
DRAWN BY	DEH
CHECKED BY	MDS
DATE	----

MASTER PLAN

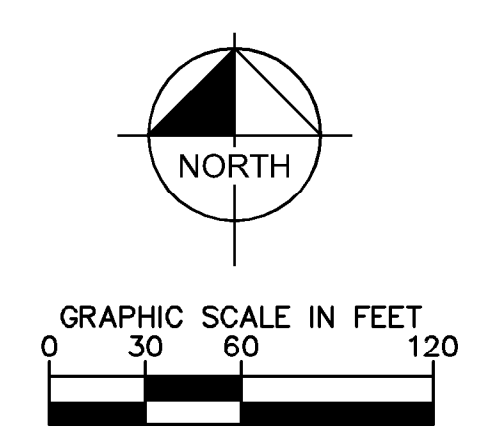
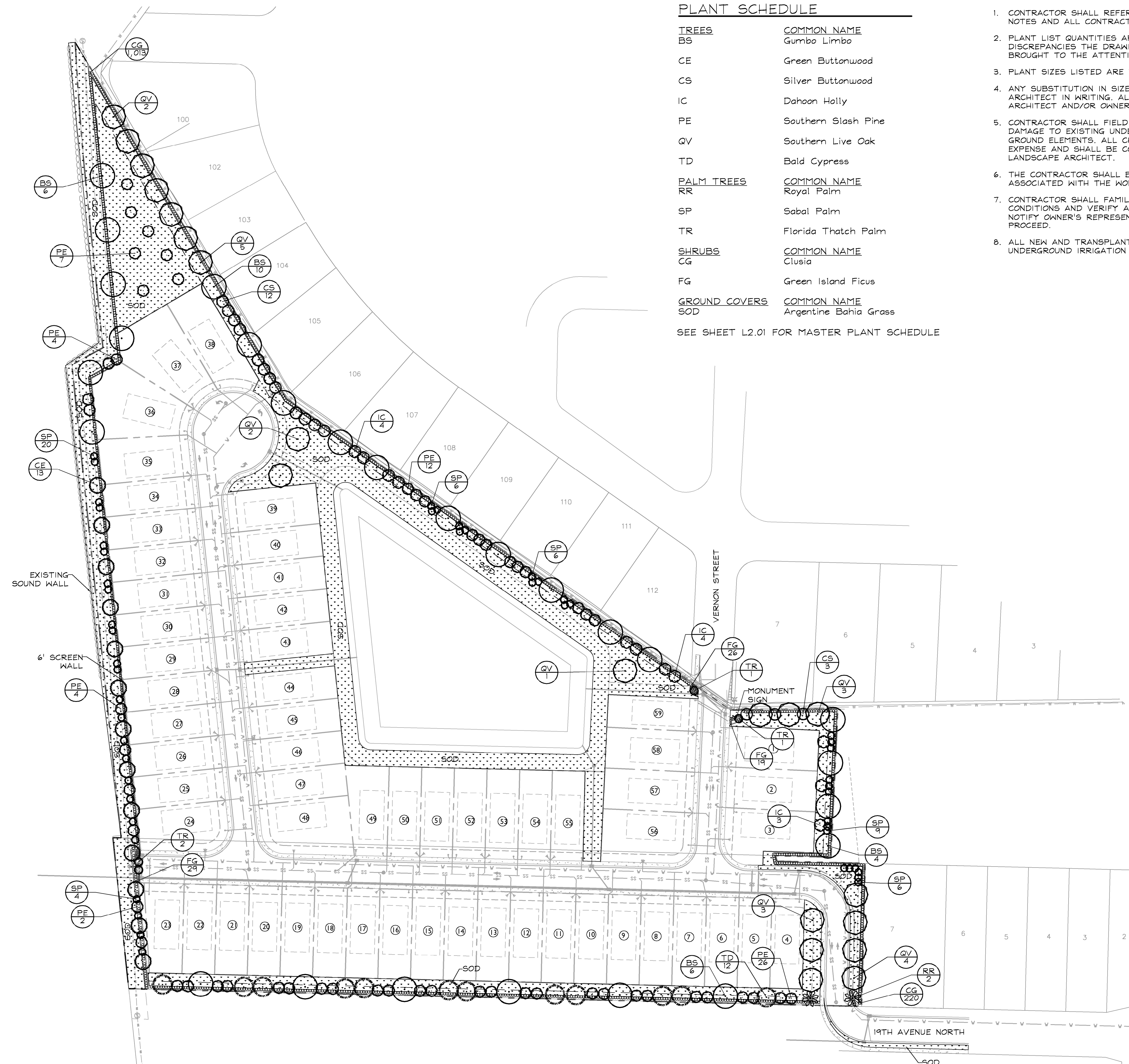
LAKE COVE
 PREPARED FOR
MERITAGE HOMES

LAKE WORTH FL

SHEET NUMBER
C1.00

Plotline By: Eric S. Stepien, Street: S. LAKE COVE, Layout: L2.00 MASTER LANDSCAPE PLAN, May 12, 2017, 11:11:32am, K:\WPB_ARCH\149658004 - K:\WPB_ARCH\149658004 - Meritage Lake Worth, CAD: PlantScheduleL2.00 LANDSCAPE PLAN.dwg
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INTERSTATE 95



PLANT SCHEDULE

TREES	COMMON NAME
BS	Gumbo Limbo
CE	Green Buttonwood
CS	Silver Buttonwood
IC	Dahoon Holly
PE	Southern Slash Pine
QV	Southern Live Oak
TD	Bald Cypress
PALM TREES	COMMON NAME
RR	Royal Palm
SP	Sabal Palm
TR	Florida Thatch Palm
SHRUBS	COMMON NAME
CG	Clusia
FG	Green Island Ficus
GROUND COVERS	COMMON NAME
SOD	Argentine Bahia Grass

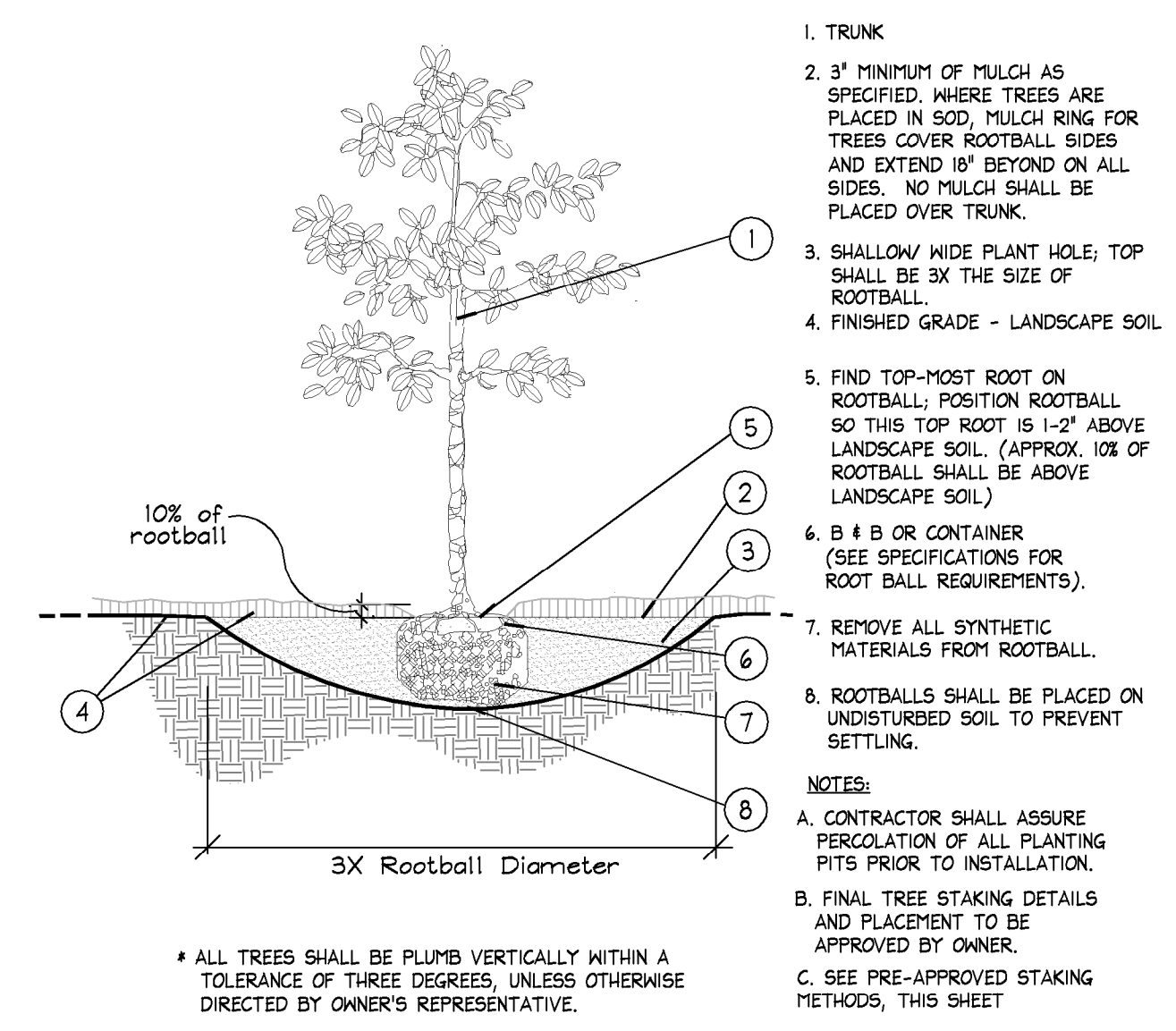
SEE SHEET L2.01 FOR MASTER PLANT SCHEDULE

PLANTING NOTES:

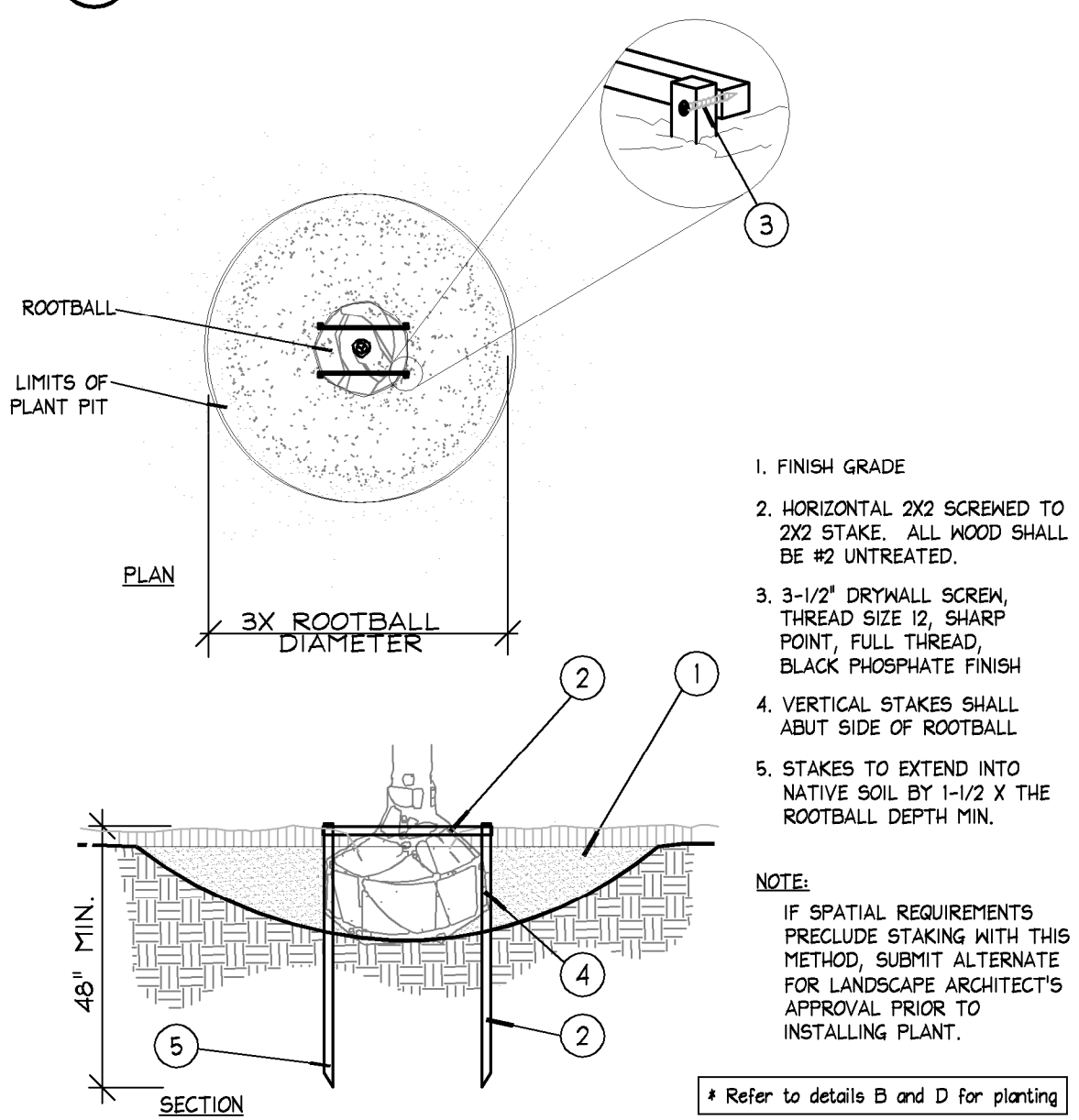
1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

<p>Kimley»Horn</p> <p style="font-size: 8px;">© 2017 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE. SUITE 201, DEERBAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-853-8175 WWW.KIMLEY-HORN.COM CA 00000996</p>	<p>LICENSED PROFESSIONAL</p> <p>JONATHAN D HAIGH, PLA</p> <p>FL LICENSE NUMBER 6666795 LA 6666795</p> <p>DATE: 05/12/2017</p>	<p>KHA PROJECT 149658004</p> <p>DATE MAY 2017</p> <p>SCALE AS SHOWN</p> <p>DESIGNED BY SF</p> <p>DRAWN BY SF</p> <p>CHECKED BY JH</p>	<p>MASTER LANDSCAPE PLAN</p>	<p>LAKE COVE</p> <p>PREPARED FOR</p> <p>MERITAGE HOMES</p> <p style="font-size: 8px;">LAKE WORTH, FL</p>
<p>4/14/17</p>		<p>SRPT COMMENTS</p>		<p>REVISIONS</p>
<p>1</p>		<p>No.</p>		<p>DATE</p>
<p>L2.00</p>		<p>SHEET NUMBER</p>		<p>BY</p>

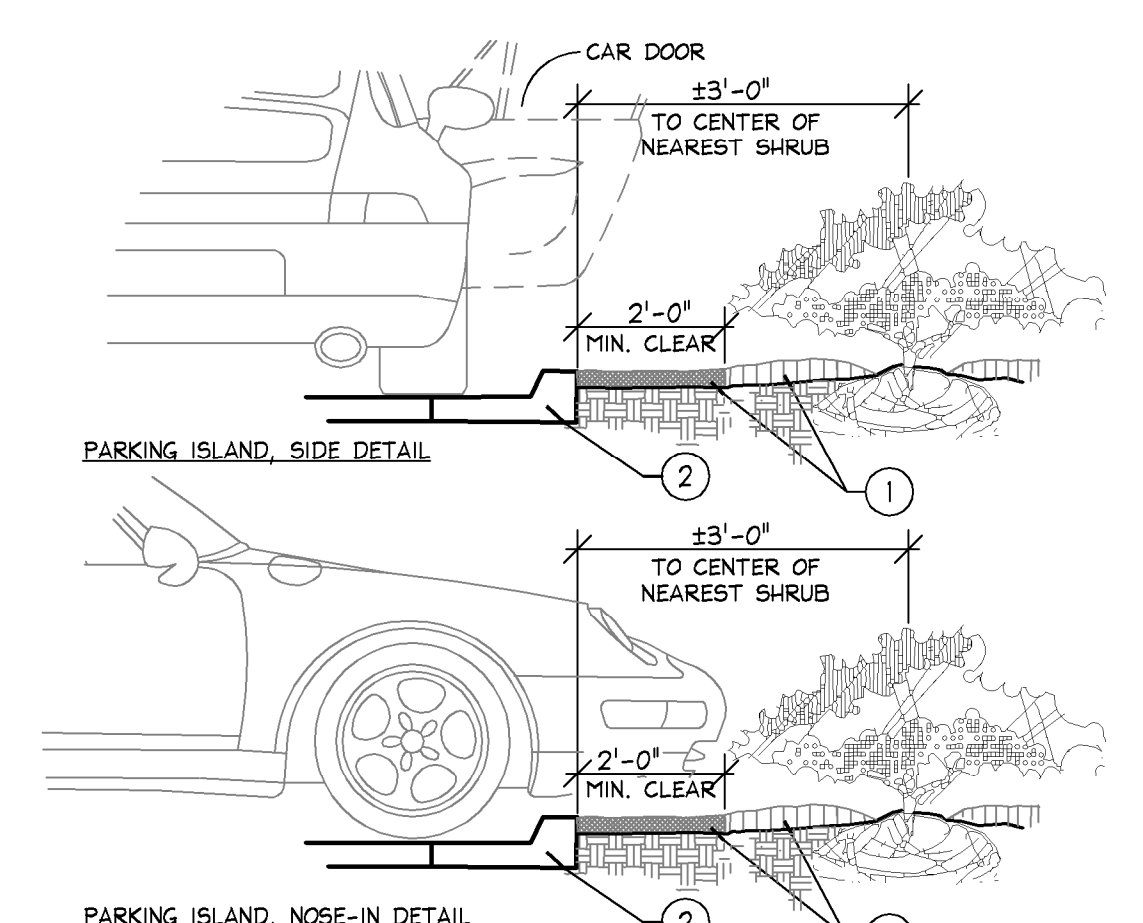
K:\MPH\0503145655004 - Merritt Lake Worth\CAD\Drawings\L2-10 LANDSCAPE DETAILS.dwg
 K:\MPH\0503145655004 - Merritt Lake Worth\CAD\Drawings\L2-10 LANDSCAPE DETAILS.dwg
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A Tree Planting
SECTION
NTS

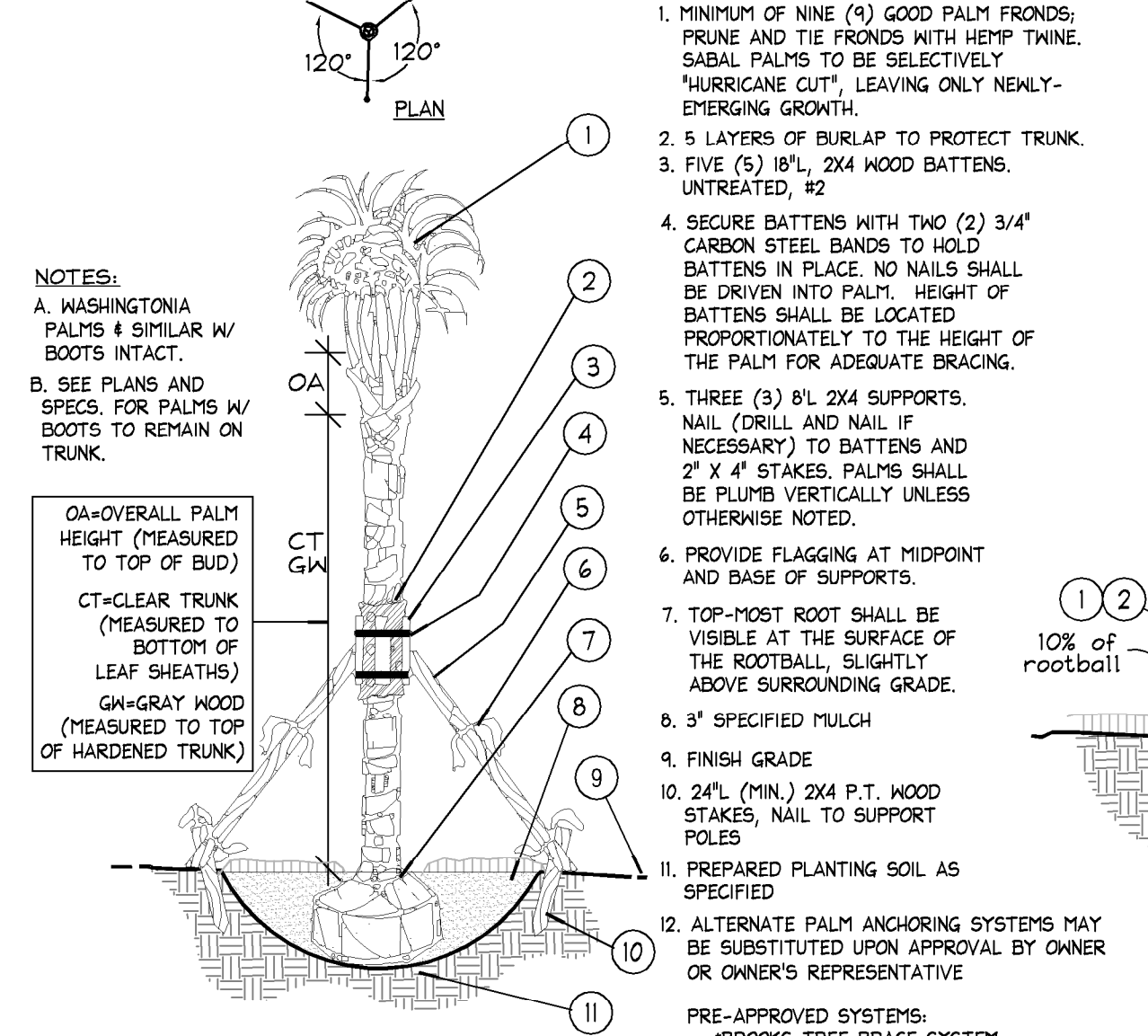


E Staking - up to 65 gal. or B#B to 3-1/2 Cal.
PLAN/SECTION
NTS

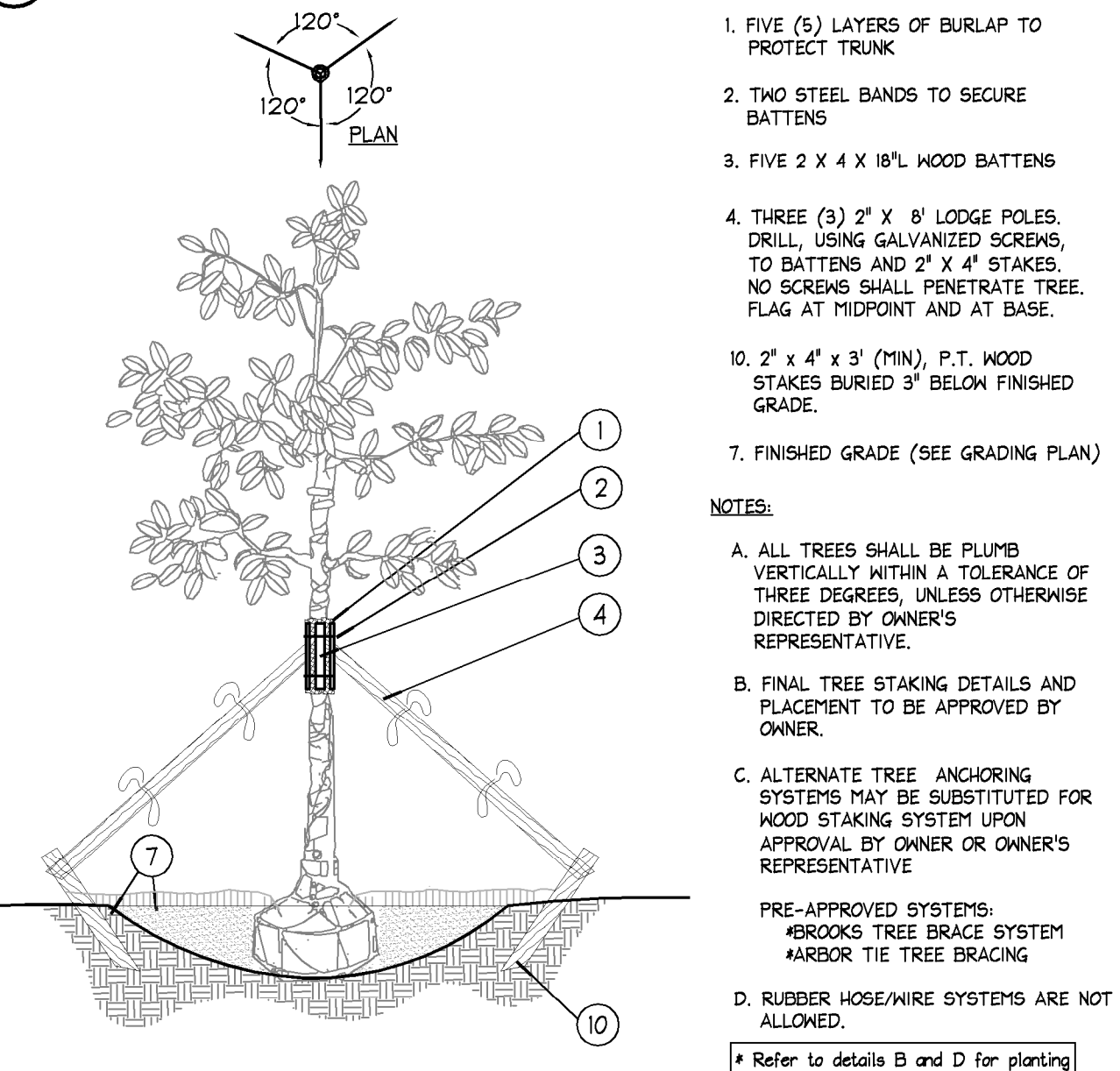


- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP
- CURB OR PARKING LOT EDGE, BY OTHERS

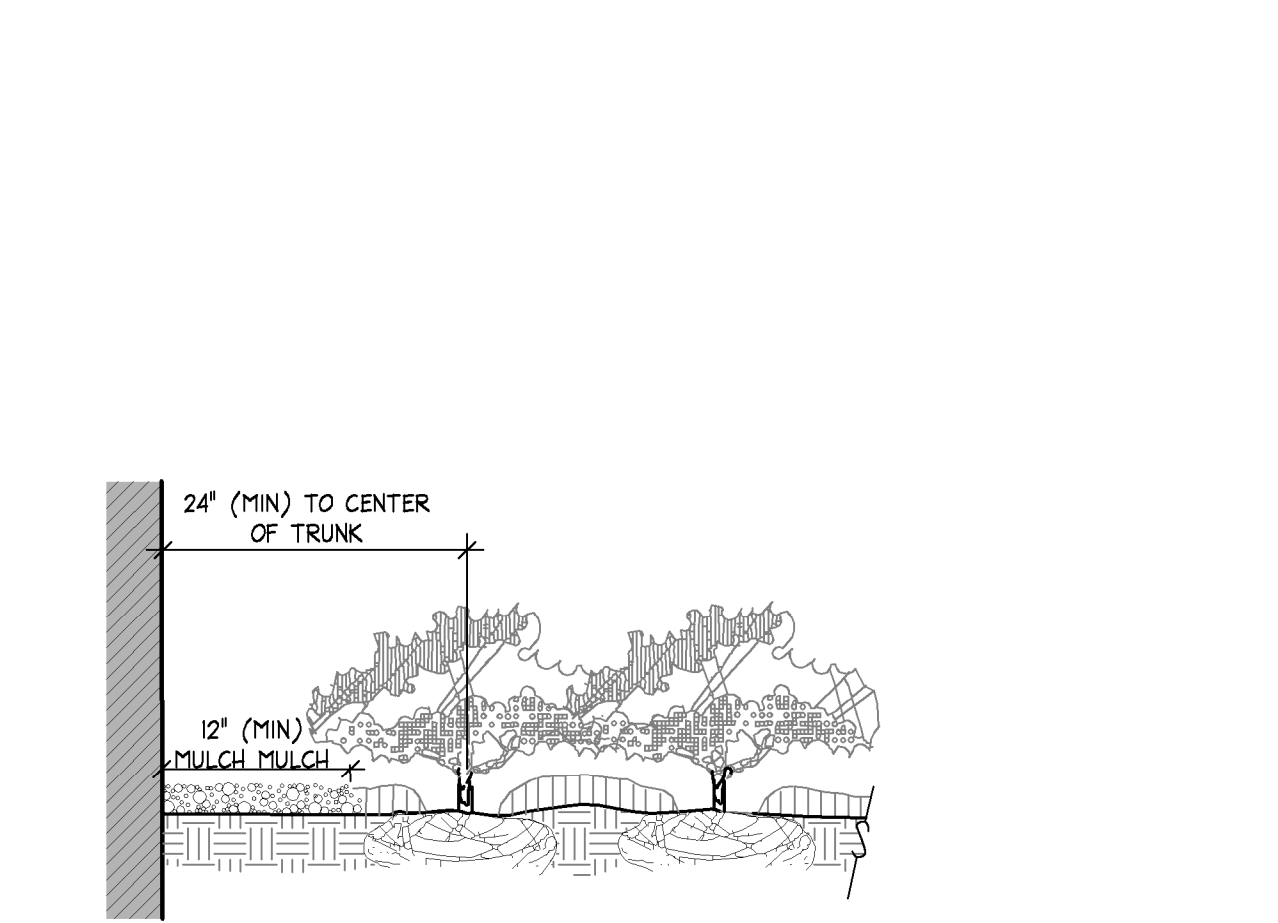
I Parking Space/Curb Planting
SECTION
NTS



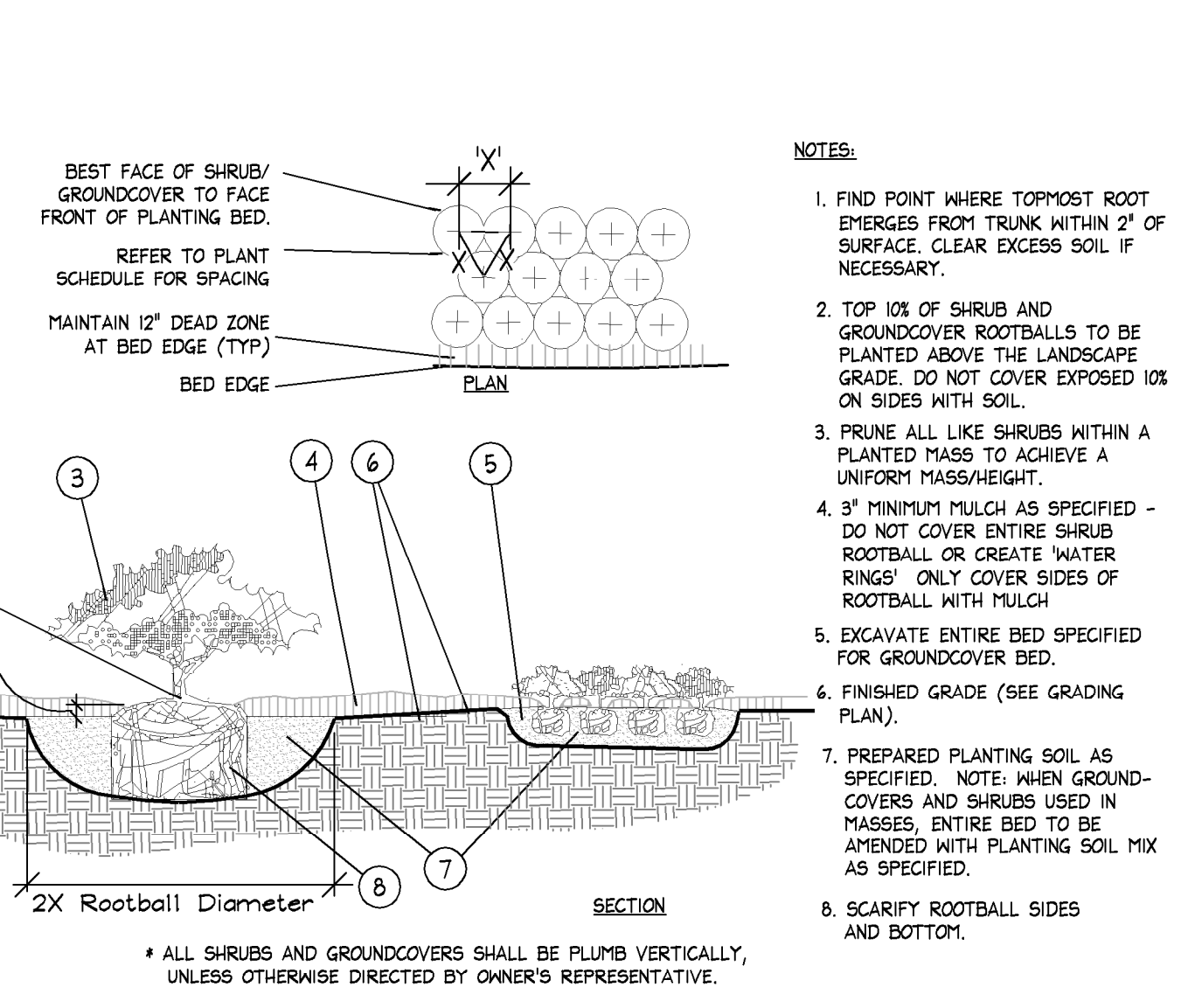
B Palm Planting and Staking
SECTION
NTS



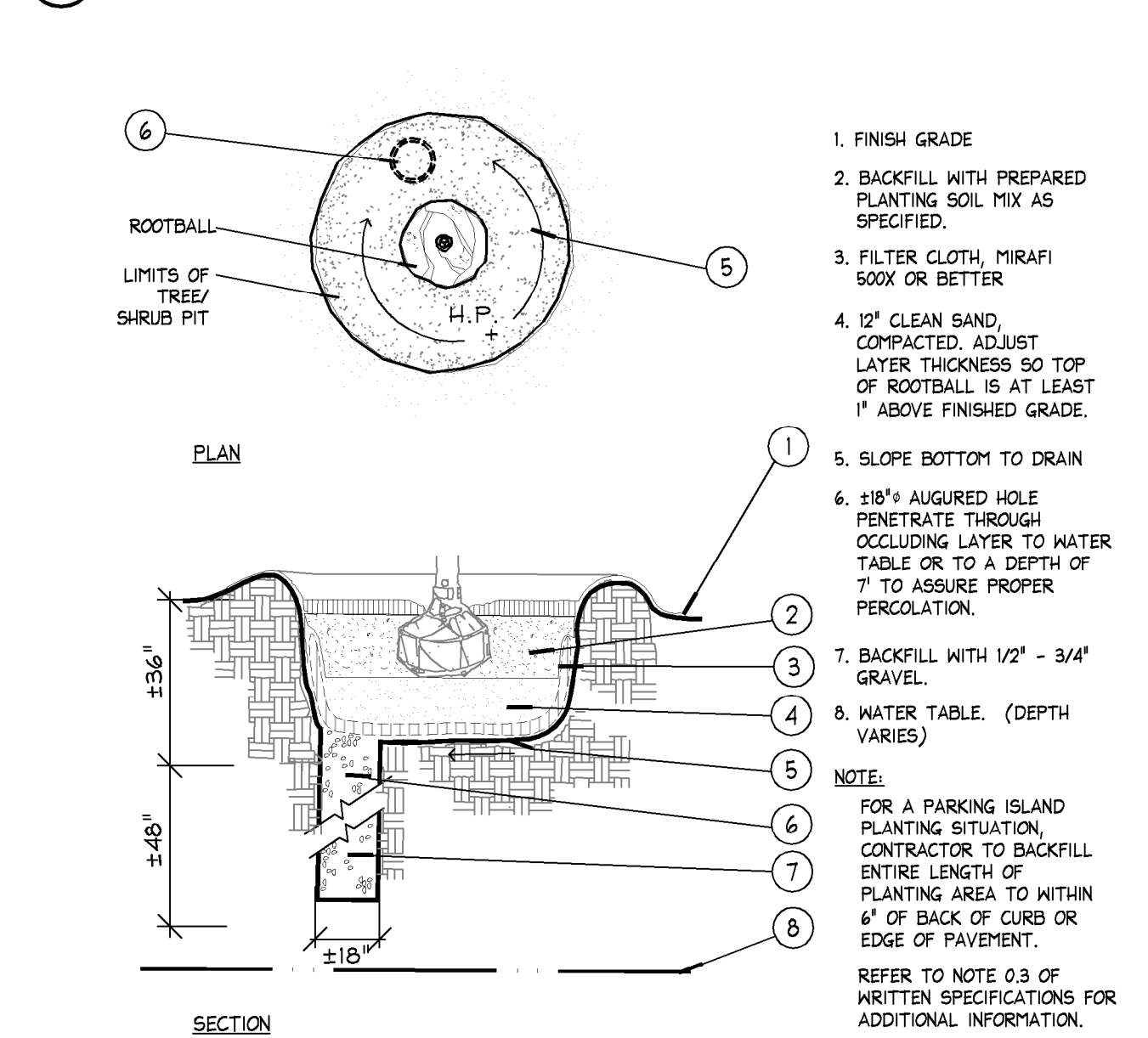
F Large Tree Staking - 100 Gal + or B#B 4 Cal.
SECTION
NTS



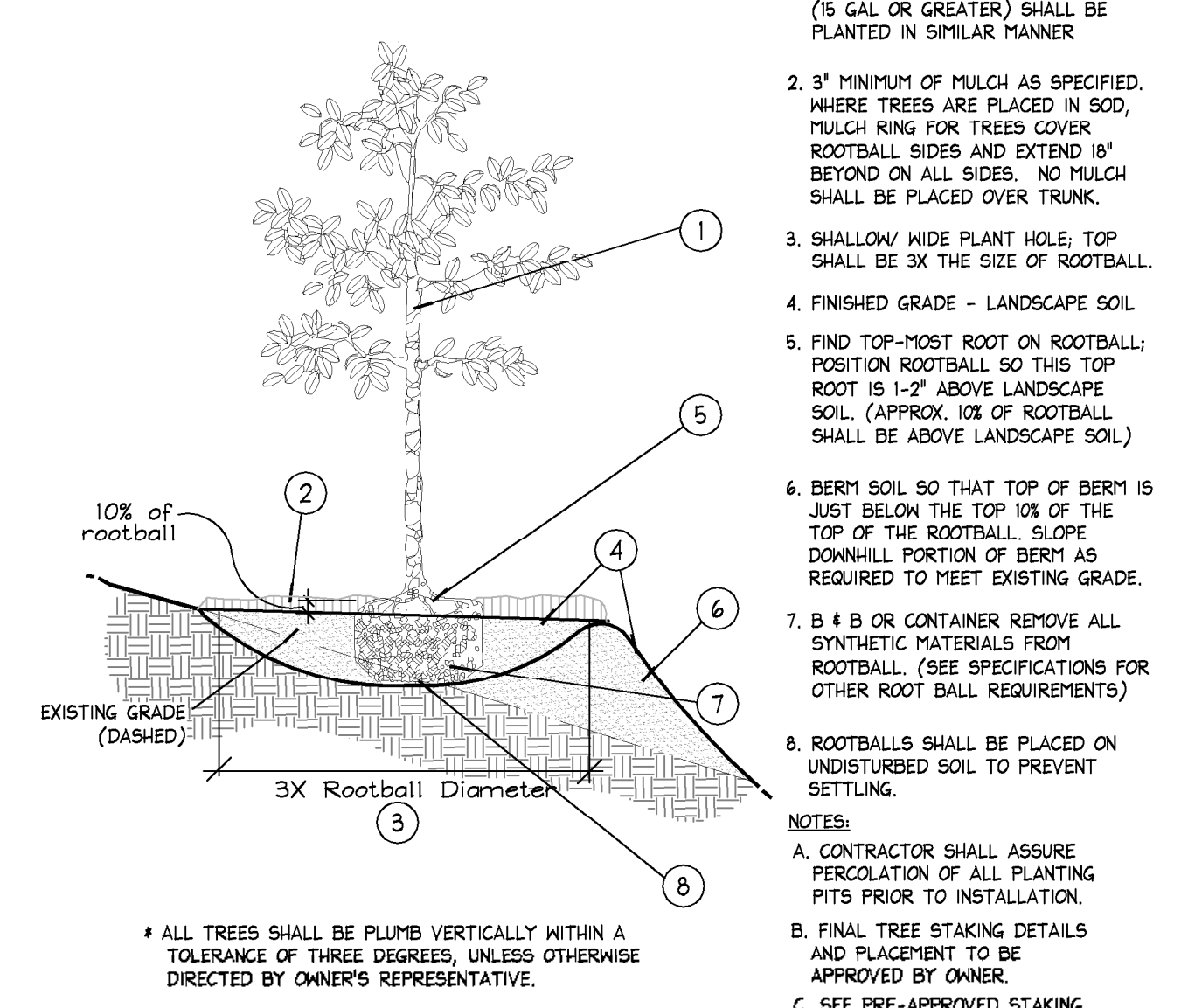
J Plantings Adjacent to Buildings
SECTION
NTS



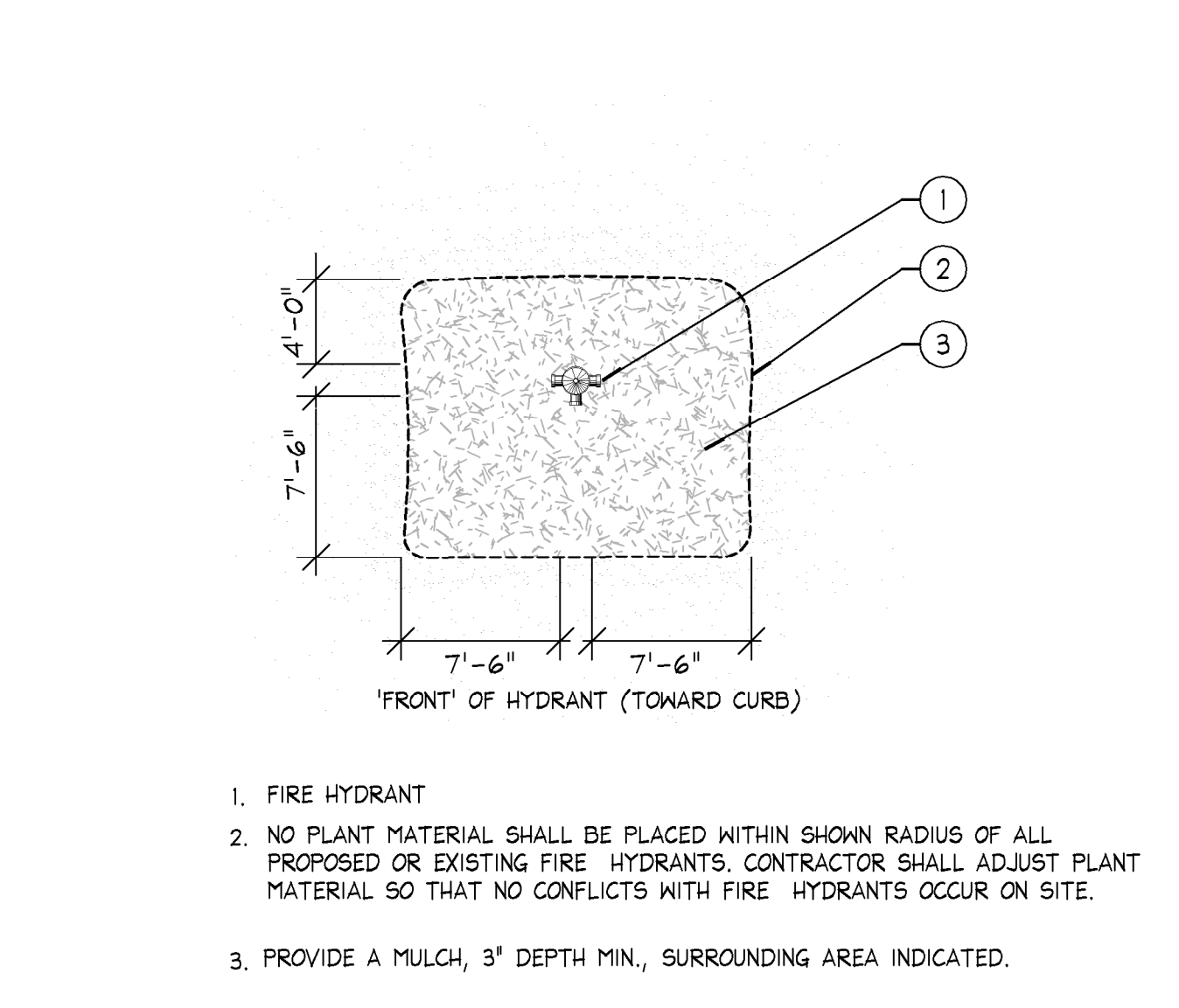
C Shrub / Groundcover Planting
PLAN/SECTION
NTS



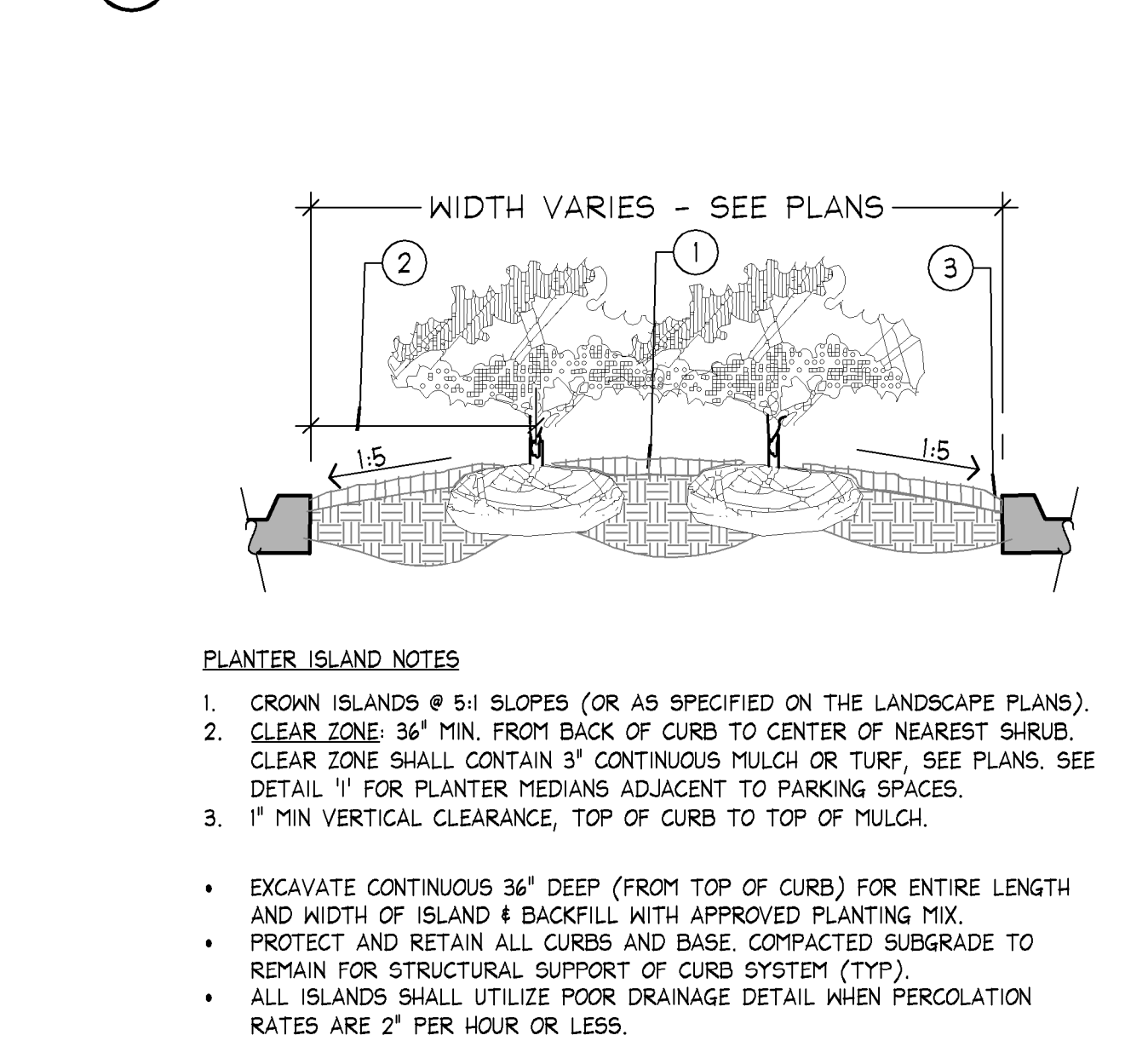
G Poor Drainage Condition
PLAN/SECTION
NTS



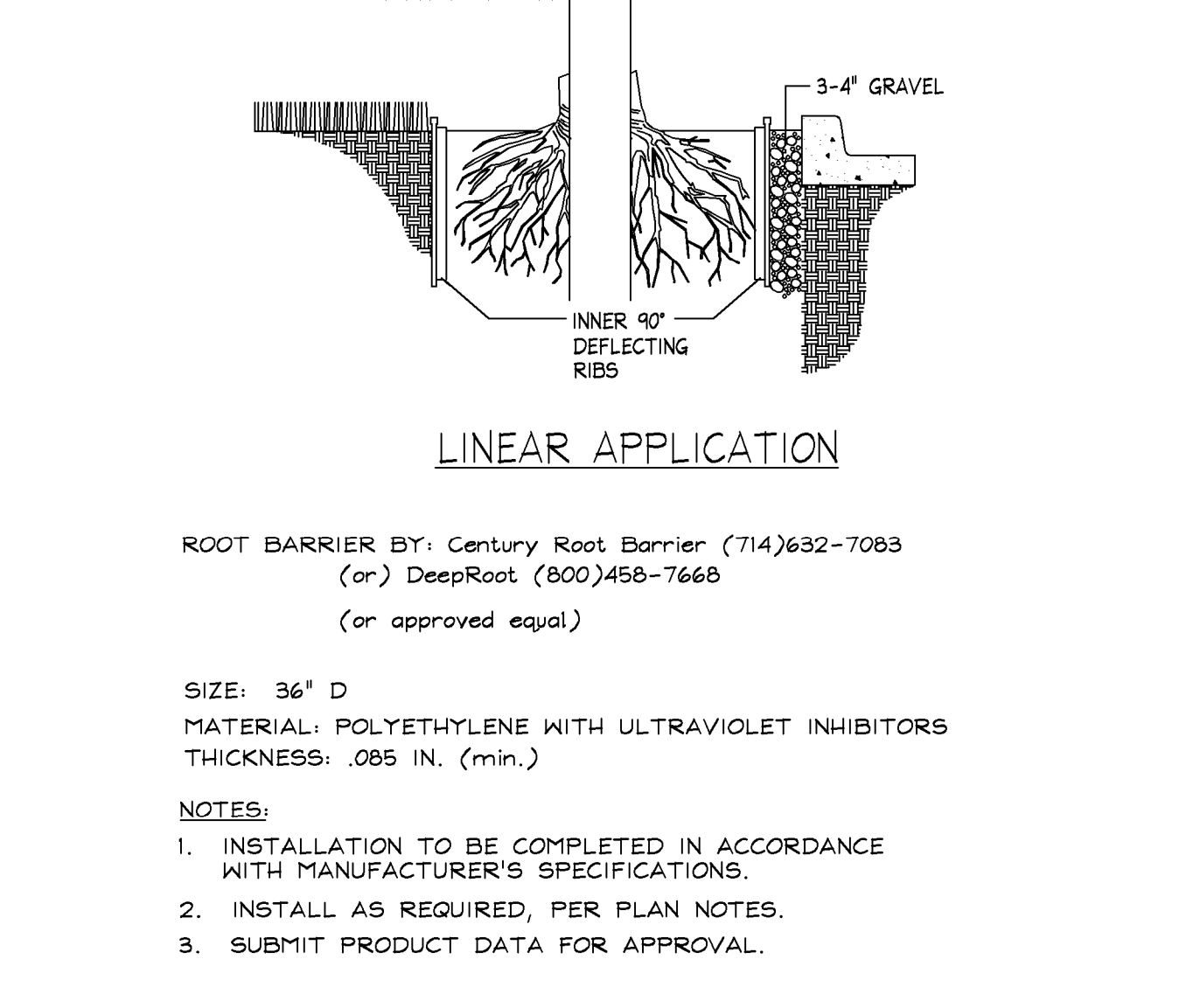
K Planting on a Slope
SECTION
NTS



D Fire Hydrant Clear Zone
PLAN
NTS



H Planted Parking Lot Islands / Medians
SECTION
NTS



L Root Barrier
Barrier Detail
NTS

NO.	REVISIONS	DATE

Kimley-Horn

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PHONE: 561-370-2345 FAX: 561-883-8175
WWW.KIMLEY-HORN.COM CA 00000996

LICENSED PROFESSIONAL
JONATHAN D HAIGH, PLA
MAY 2017
SCALE AS SHOWN
DESIGNED BY SF
DRAWN BY SF
CHECKED BY JH
DATE: 05/12/2017

LANDSCAPE DETAILS

LAKE COVE
PREPARED FOR
MERITAGE HOMES

LAKE WORTH

